

# SHOP/OFFICE & RESIDENCE

162 ALMA ROAD PADSTOW NSW 2211

SITE AREA: 241.5m<sup>2</sup>

DRAWING REGISTER:

DA01	COVER SHEET
DA02	SITE PLAN
DA03	DEMOLITION PLAN
DA04	PROPOSED FLOOR PLANS
DA05	PROPOSED MEZZANINE
DA06	GROSS FLOOR AREA PLANS
DA07	STREET ELEVATIONS
DA08	LONG ELEVATIONS
DA09	SECTION

LEGEND:

---	DEMOLISHED
CONC	CONCRETE
CPT	CARPET
CR	CEMENT RENDER
EW	EXISTING WINDOW
EX RL	EXISTING RELATIVE LEVEL
FC	FIBRE CEMENT SHEET
FFL	FINISHED FLOOR LEVEL
P	PRIMARY DWELLING
PB	PLASTERBOARD
PT	PAINT FINISH
RL	RELATIVE LEVEL
S	SECONDARY DWELLING
SL	SKYLIGHT
TIM	TIMBER
TL	TILES
W	WINDOW

PROPOSED AREA CALCULATIONS

GFA	GROUND (excl. STAIR 15m <sup>2</sup> )	89.4m <sup>2</sup>
	MEZZANINE/STORAGE	60.0m <sup>2</sup>
	FIRST (excl. LIGHT WELL)	145.5m <sup>2</sup>
	TOTAL	294.9m <sup>2</sup>

PROPOSED FSR 1.22:1

OPEN SPACE AREA

PROPOSED	REAR TERRACE	32.7m <sup>2</sup>
	FRONT BALCONY	11.7m <sup>2</sup>
	TOTAL	44.4m <sup>2</sup>

PARKING

CBD/CP REQ.		3
PROPOSED	COMMERCIAL (89.4m <sup>2</sup> /40)	2
	RESIDENTIAL	2
	TOTAL	4

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COLIN DE LORE & ASSOC. PTY. LTD.

ARCHITECT x DESIGNER REG 7399

SUITE 303, LEVEL 3, 398 BANKSTOWN NSW 2200

MOBILE: 0411 544 320

EMAIL: colindelore2@optusnet.com.au

REV	DESCRIPTION	DATE
A	ADDED MEZZANINE	07/11/2023
B	ADDED LIFT	17/11/2023
C	ADDED MEZZANINE WINDOWS	09/01/2024
D	FOR DA	18/03/2024
E	FOR DA	29/04/2024

CLIENT

MR & MRS RIBEIRO

PROJECT

SHOP / OFFICE & RESIDENCE

162 ALMA ROAD PADSTOW NSW 2211

SHEET

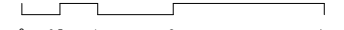
COVER SHEET

DATE

MAR 2023

SCALE @ A3

1 : 1



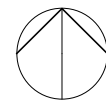
REV

E

JOB NO.

2022/106

NORTH POINT



DWG NO.

DA01



1 LOCATION MAP

DA01

GENERAL NOTES:

1. BUILDERS AND CONTRACTORS SHALL VERIFY JOB DIMENSIONS BEFORE ANY WORK COMMENCES. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE PROPRIETOR AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RETURN OF APPROVED SHOP DRAWINGS.

2. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED.

3. THE ARCHITECT DOES NOT WARRANT NOR TAKES ANY RESPONSIBILITY FOR THE ACCURACY OR OTHERWISE OF THE INFORMATION PROVIDED BY OTHER CONSULTANTS WHICH HAS BEEN USED IN THE PREPARATION OF THESE DRAWINGS. THESE DRAWINGS ARE COPYRIGHT COLIN DE LORE & ASSOCIATES.

4. REFER TO ENGINEERS DOCUMENTS FOR ALL STRUCTURAL WORK. ALL STRUCTURAL WORK TO BE CERTIFIED BY A REGISTERED STRUCTURAL ENGINEER.

5. ALL ITEMS FOR DEMOLITION TO BE SHOWN ON DEMOLITION PLAN.

6. ALL STAIR RISER HEIGHTS TO COMPLY WITH BCA.

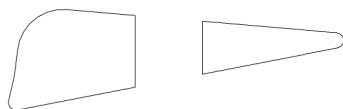
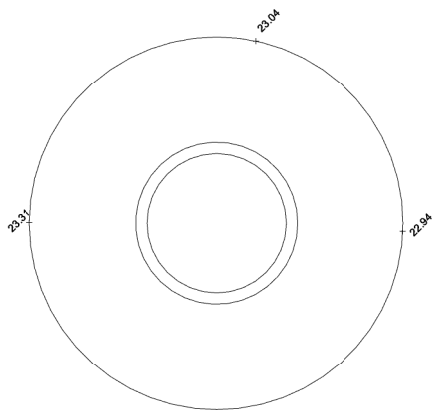
7. ALL NEW DOWNPIPES TO CONNECT TO EXISTING STORMWATER LINES.

8. WET AREAS SHALL BE WATERPROOFED TO AS 3740.

9. CONVENTIONED WALL/ROOF SYSTEM TO AS 1684.

10. ALL WORKS TO COMPLY WITH LOCAL COUNCIL REQUIREMENTS, AUSTRALIAN STANDARDS AND NATIONAL CONSTRUCTION CODE.

11. ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL AND BATTER WILL BE DETERMINED ONE SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC.



FARADAY ROAD



ALMA ROAD

CALDERON LANE

SINGLE STOREY BRICK BUILDING  
(METAL ROOF)  
No:164  
"CHINESE KITCHEN"

AWNING  
BELOW

TERRACE  
BELOW

TWO STOREY BRICK BUILDING  
(TILE ROOF)  
No.156-160  
"CAFFE DUE AMICII"

0009460114-01 PADSTO

Assessor Saad Odeh  
Accreditation No. 20698

Address  
Unit 1, 162 Alma Road,  
Padstow, NSW,  
2211

419  
Munit

www.nstheres.gov.au



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162 ALMA ROAD PADSTOW NSW 2211

SHEET  
SITE PLAN


DATE MAR 2023  
SCALE @ A3 1 : 200

REV E  
JOB NO. 2022/106

DWG NO.  
DA02





NORTH POINT	
DWG NO.	DA03

Architectural floor plan of a two-storey brick building with a tile roof. The plan shows the following rooms and features:

- BALCONY**: +FFL 26.33, W9 1200H X 800W.
- BED 1**: +FFL 26.33, CARPET, W1 2400W X 2100H.
- WARDROBE**: Located between Bed 1 and Bed 2.
- ENSUITE**: TILES, W2 1350W X 1400H.
- BED 2**: CARPET, 2240 (width), 1350 (depth).
- WARDROBE**: Located between Bed 2 and Bed 3.
- BATH**: TILES, W3 800W X 900H.
- LAUNDRY**: TILES, W4 1350W X 1400H.
- BED 3**: CARPET, 3100 (width), 1800 (depth).
- DINING**: TILES, +FFL 26.33, SKYLIGHTS DASHED ABOVE.
- KITCHEN**: CUPBOARDS OVER, SKYLIGHTS DASHED ABOVE.
- LIVING ROOM**: W5 1800W X 2100H.
- TERRACE**: TILES, +FFL 26.33, W6 1800W X 2100H.

Structural details include SKYLIGHTS DASHED ABOVE and ROOF RIDGE DASHED ABOVE. A scale bar at the bottom shows dimensions: 2100, 270, 4100, 110, 1420, 110, 3600, 110, 2800, 110, 3100, 110, 1800, 110, 9500, 270, 9985.

TWO STOREY BRICK BUILDING  
(TILE ROOF)  
No. 156-160  
"CAFFE DUE AMICII"

## DA04

SCALE: 1 : 100



Architectural floor plan of the ground floor of a two-storey brick building. The plan includes the following details:

- Dimensions:** Overall width is 7030. Internal dimensions include 8100, 100, 2500, 270, 3870, 230, 3340, 90, 2465, 90, 5500, and 5500. Internal height dimensions include 270, 1185, 270, 4100, 270, 4100, 270, 18000, 270, 18000, 270, 4130, 90, 3855, 190, 1630, and 190.
- Rooms and Areas:**
  - OFFICE OR SHOP AREA (+FFL 23.13, TILES ON CONCRETE FLOOR SLAB, 18000)
  - BATH
  - KITCHEN
  - GARBAGE / STORE
  - LIFT
  - TO MEZZANINE STORAGE ABOVE
  - WC
  - COMMERCIAL PARKING 1
  - COMMERCIAL PARKING 2
  - RESIDENTIAL PARKING 1
  - RESIDENTIAL PARKING 2
- Structural and Leveling:**
  - 1800W ROLLER DOOR
  - 1:21 SLOPE DRIVEWAY
  - +RL 21.33
  - +EX RL 20.83
  - +FFL 23.13
  - +RL 21.77
- Other Features:**
  - DA09 (Drainage Area)
  - W7 (Window)
  - 3500W X 2400H (Window size)
  - 20 (Stair width)
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## DA04

SCALE: 1 : 100



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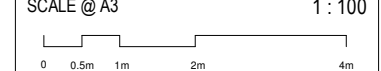
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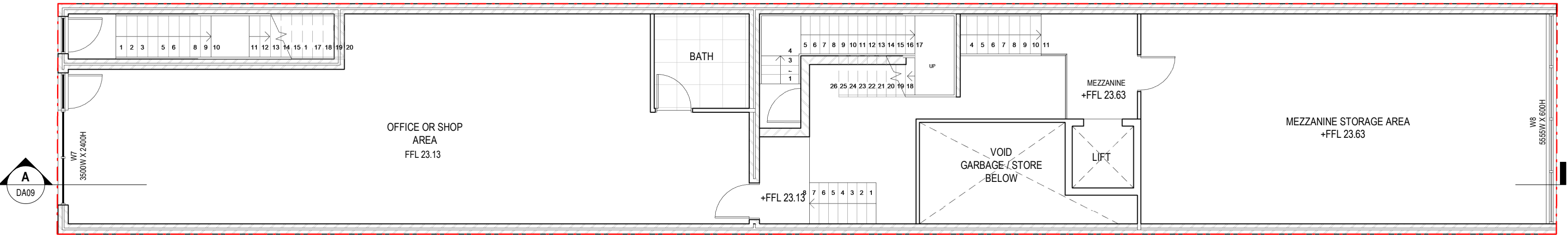
162 ALMA ROAD PADSTOW NSW 2211

DA04

E	D
---	---

0000/100





1 MEZZANINE  
DA05  
SCALE: 1 : 100




0009460114-01 22 Feb 2025  
Assessor Saad Odeh  
Accreditation No. 20698  
Address  
Unit 1, 162 Alma Road,  
Padstow, NSW,  
2211






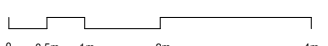
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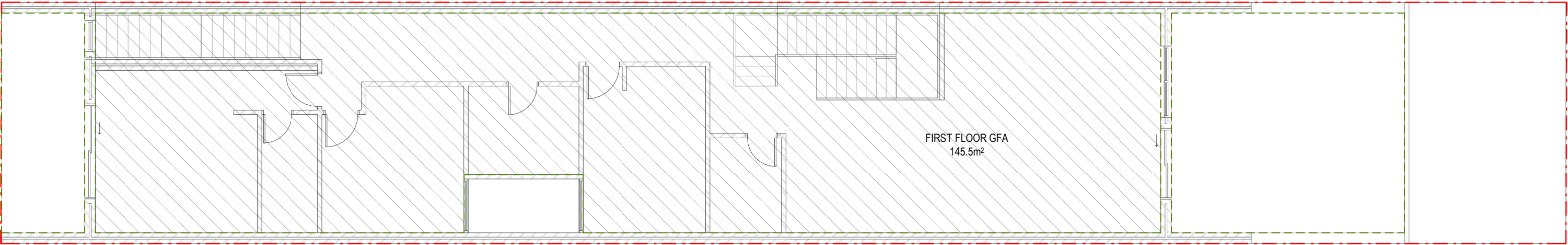
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CLIENT	SHEET		NORTH POINT
MR & MRS RIBEIRO	PROPOSED MEZZANINE		
PROJECT	DATE	REV	DWG NO.
SHOP / OFFICE & RESIDENCE	11/17/23	D	DA05
162 ALMA ROAD PADSTOW NSW 2211	SCALE @ A3	JOB NO.	2022/106
			



**2** FIRST FLOOR GFA  
DA06 SCALE: 1 : 100



**0009460114-01** 22 Feb 2025

Assessor: Saad Odeh

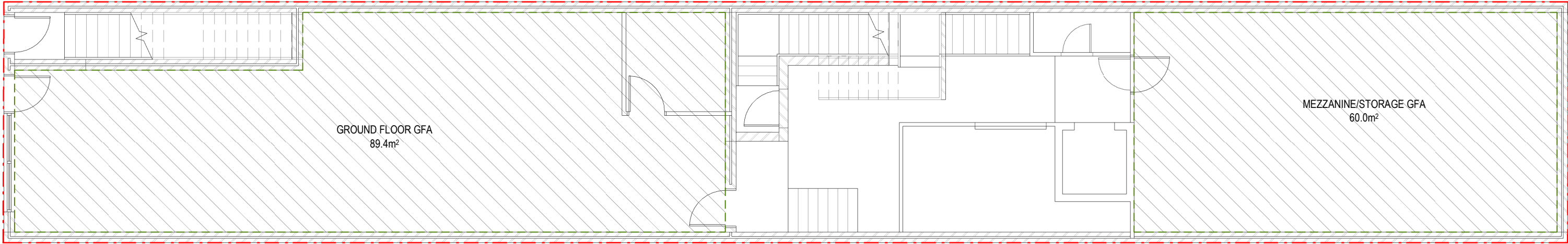
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Address  
Unit 1, 162 Alma Road,  
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2211

41.9  
ML/m²

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**1** GROUND FLOOR GFA  
DA06 SCALE: 1 : 100

GFA	GROUND (excl. STAIR 15m²)	89.4m²
	MEZZANINE/STORAGE	60.0m²
	FIRST (excl. LIGHT WELL)	145.5m²
	TOTAL	294.9m²
PROPOSED FSR	1.22:1	

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**MR & MRS RIBEIRO**

PROJECT

**SHOP / OFFICE & RESIDENCE**

**162 ALMA ROAD PADSTOW NSW 2211**

SHEET

**GROSS FLOOR AREA PLANS**

DATE

MAR 2023

REV

E

SCALE @ A3

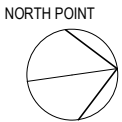
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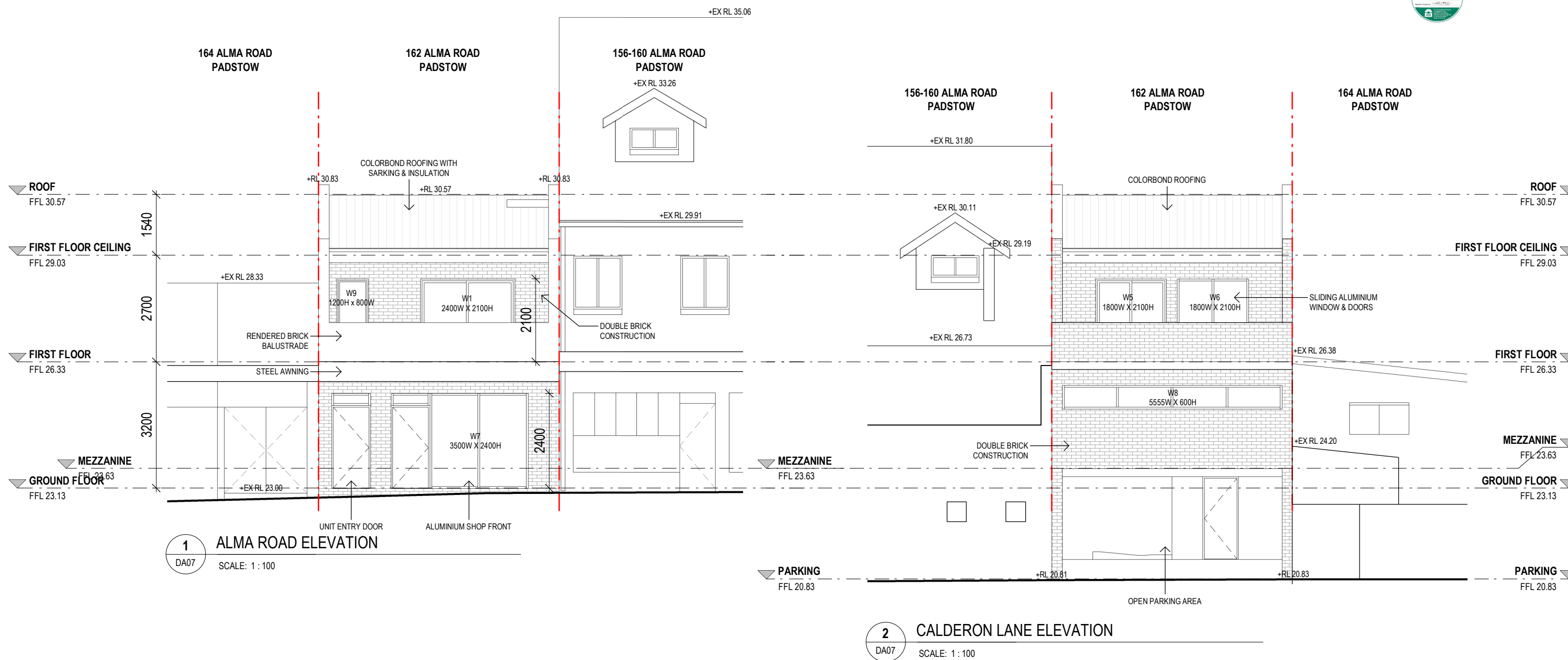
JOB NO.

2022/106

DWG NO.

**DA06**





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SHEET

STREET ELEVATIONS

DATE

02/22/23

SCALE @ A3

1 : 100



REV

E

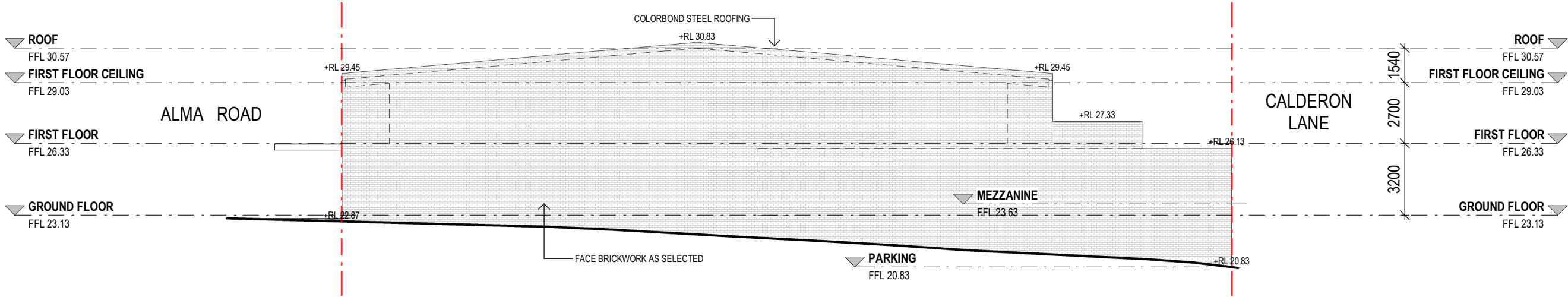
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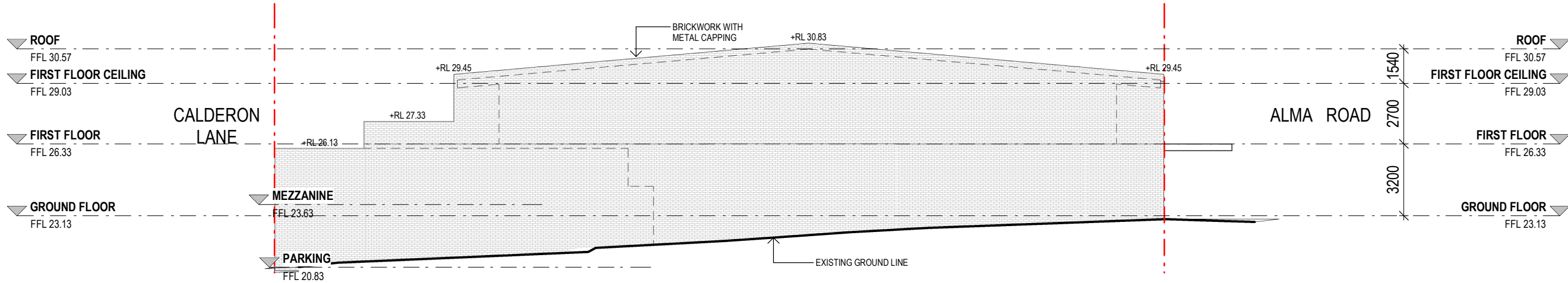
NORTH POINT

DWG NO.

DA07



1 EAST ELEVATION  
DA08 SCALE: 1 : 200



2 WEST ELEVATION  
DA08 SCALE: 1 : 200

DO NOT SCALE OFF THIS DRAWING BEFORE USING FIGURED DIMENSIONS - VERIFY ALL DIMENSIONS ON SITE. RESOLVE ALL DISCREPANCIES WITH ARCHITECT BEFORE PROCEEDING.

THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

COLIN DE LORE & ASSOC. PTY. LTD.  
ARCHITECT x DESIGNER REG 7399  
SUITE 303, LEVEL 3, 398 BANKSTOWN NSW 2200  
MOBILE: 0411 544 320  
EMAIL: colindelore2@optusnet.com.au

REV	DESCRIPTION	DATE
A	ADDED MEZZANINE	07/11/2023
B	ADDED LIFT	17/11/2023
C	ADDED MEZZANINE WINDOWS	09/01/2024
D	FOR DA	18/03/2024
E	FOR DA	29/04/2024

CLIENT  
MR & MRS RIBEIRO

PROJECT  
SHOP / OFFICE & RESIDENCE  
162 ALMA ROAD PADSTOW NSW 2211

SHEET  
LONG ELEVATIONS

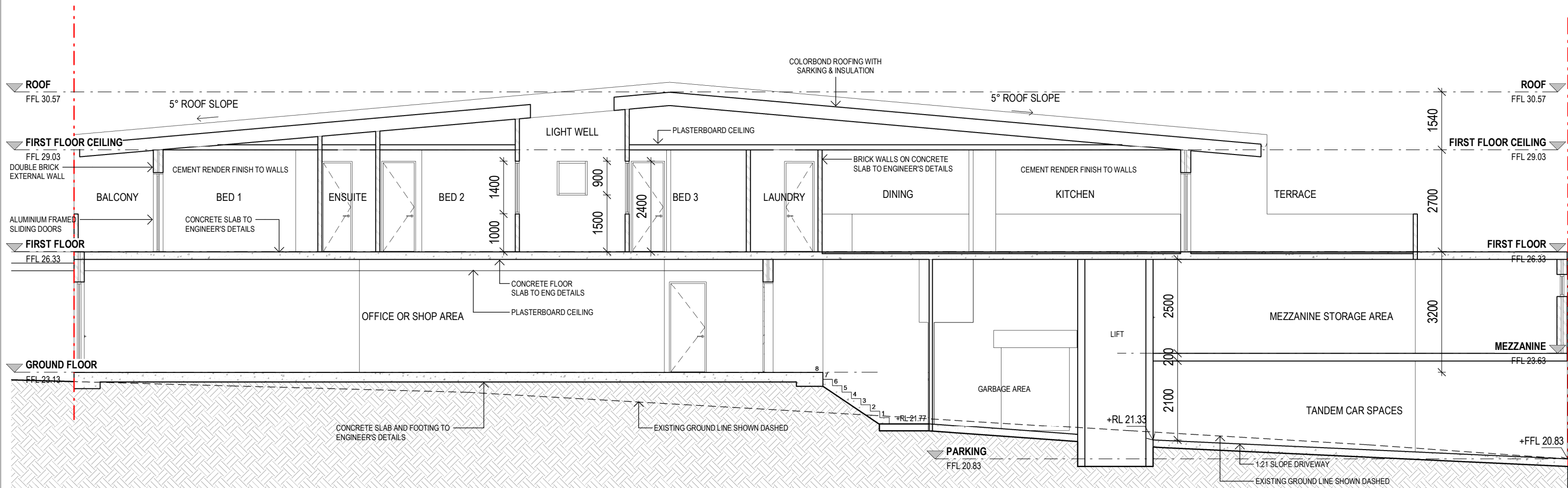
DATE  
MAR 2023

REV  
E

SCALE @ A3  
1 : 200

JOB NO.  
2022/106

DWG NO.  
DA08



**A** SECTION A  
DA09 SCALE: 1 : 100



0009460114-01 22 Feb 2025  
Assessor: Saad Odeh  
Accreditation No. 20698  
Address  
Unit 1, 162 Alma Road,  
Padstow, NSW,  
2211





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SHEET

SECTION

DATE

MAR 2023

SCALE @ A3

1 : 100

0

0.5m

1m

2m

4m

REV

E

JOB NO.

2022/106

NORTH POINT

DWG NO.

DA09